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**25-192**

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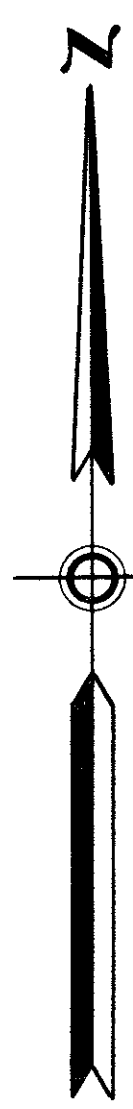
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# PLAT OF CONGRESS HEIGHTS IN SECTION 8, TWP. 44 S., RGE. 43 E. PALM BEACH COUNTY, FLORIDA

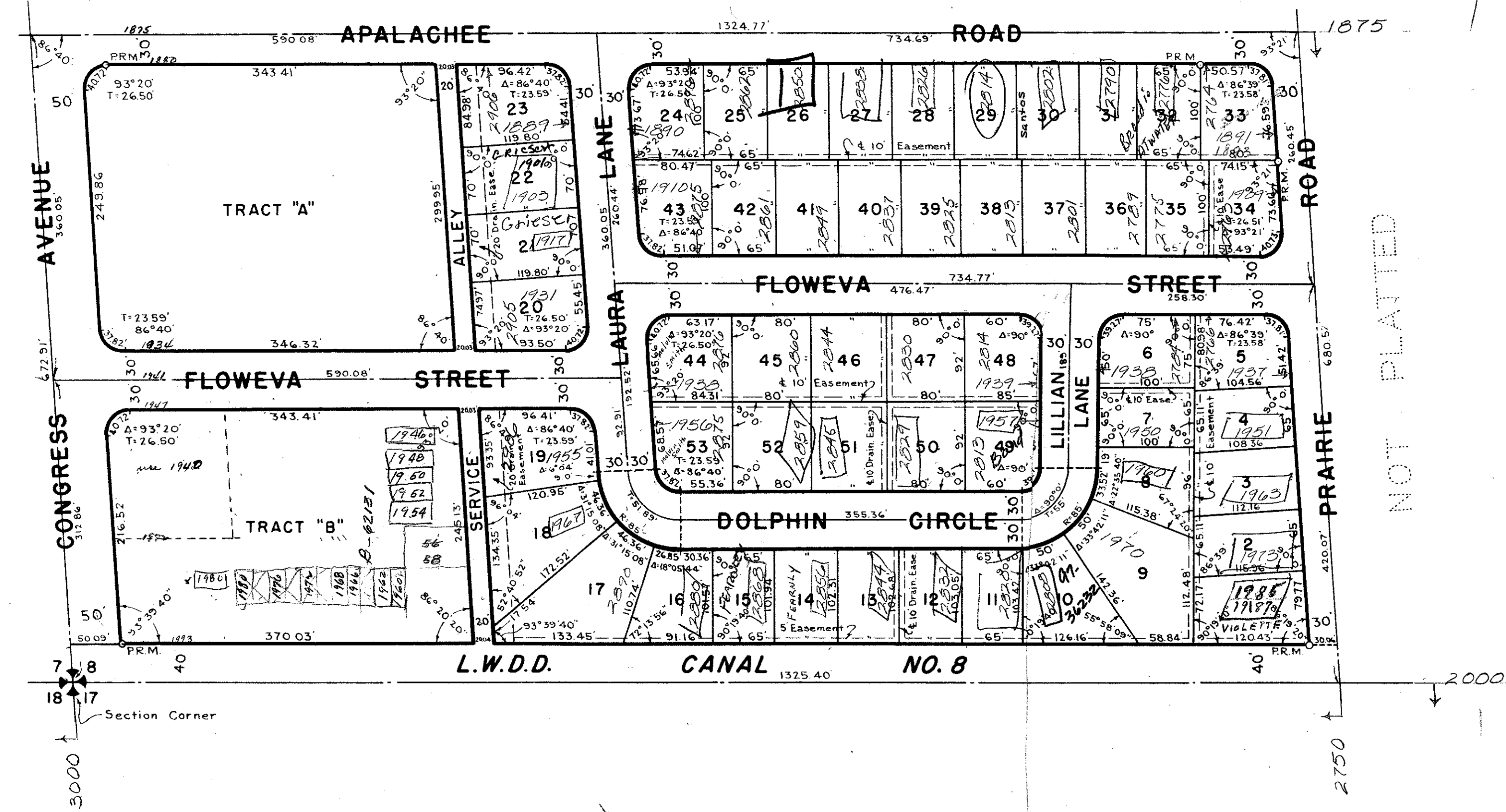
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STATE OF FLORIDA  
COUNTY OF PALM BEACH  
This Plat was filed for record at 4:54 P.M.  
this 10<sup>th</sup> day of JUNE  
1958 and duly recorded in Plat Book No  
22 on page 192  
J. ALEX ARNETTE, Clerk Circuit Court  
By *J. W. Blackburn*, D.C.

P.B. 23 PG. 143



P.B. 23-1916  
P.B. 20-1916  
P.B. 20-1916



**NOTE**  
Building Setback Lines shall be as required by Palm Beach County Zoning Regulations.  
There shall be no buildings or other structures placed on Utility Easements.  
There shall be no buildings or any kind of construction or trees or shrubs placed on Drainage Easements.

**NOTE**  
All street intersections are rounded with a 25 ft. radius, unless otherwise shown.  
Easements are for Public Utilities, unless otherwise noted.

request to abandon Inter. of Sec. 1922118

STATE OF FLORIDA  
COUNTY OF PALM BEACH  
KNOW ALL MEN BY THESE PRESENTS, that DAV-MAR DEVELOPERS, INC., a Florida Corporation, the owner of the tract of land lying and being in Section 8, Township 44 South, Range 43 East, Palm Beach County, Florida, shown hereon as CONGRESS HEIGHTS, and more particularly described as follows, to wit:

The South Half (S 1/2) of the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of said Section 8, Township 44 South, Range 43 East, Palm Beach County, Florida.  
SUBJECT to existing Rights of Way of Record.

has caused the same to be surveyed and platted as shown hereon, and does hereby dedicate to the perpetual use of the public, as public highways and waterway, the Streets and Canal shown hereon, and the use of the Easements for the construction and maintenance of Public Utilities.

IN WITNESS WHEREOF, the said Corporation has caused these presents to be signed by its President and attested by its Secretary and it corporate seal to be affixed hereto, by and with the authority of its Board of Directors, this 21st day of MARCH, A.D. 1958.

Attest: DAV-MAR DEVELOPERS, INC.  
By: *Eva C. Caulder* Secretary  
By: *David J. Schwartz* President

STATE OF FLORIDA  
COUNTY OF DADE  
I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, DAVID J. SCHWARTZ and EVA C. CAULDER, President and Secretary, respectively, of DAV-MAR DEVELOPERS, INC., a Florida Corporation, to me well known and known to me to be the individuals described in, and who executed the foregoing dedication, and they acknowledged before me that they executed the same as such officers of said Corporation, by and with the authority of its Board of Directors, for the purposes therein expressed, and that their act and deed was the act and deed of said Corporation.  
WITNESS my hand and official seal at MIAMI, County of DADE, and State of Florida, this 21st day of MARCH, A.D. 1958.

*Joseph A. ...*  
Notary Public  
My Commission expires: MARCH 17, 1961

STATE OF FLORIDA  
COUNTY OF PALM BEACH  
I HEREBY CERTIFY that the plat shown hereon is a true and correct representation of a survey, made under my direction, of the hereon described property, and that said survey is accurate to the best of my knowledge and belief, and that permanent reference monuments (P.R.M.) have been placed as required by law.

*H. L. ...*  
Registered Land Surveyor  
Florida Certificate No. 15  
Subscribed and sworn to before me this 6th day of June, A.D. 1958.  
*John ...*  
Notary Public  
My Commission expires: August 7, 1961

Approved: 9 June, A.D. 1958  
Board of County Commissioners

By: *Ray C. Michael*  
Chairman

BROCKWAY, WELLS & BROCKWAY  
ENGINEERS  
WEST PALM BEACH, FLORIDA  
**(25-192) 8/44**  
CONGRESS HEIGHTS

1000380

8/14/43

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